

CNPA Planning Committee



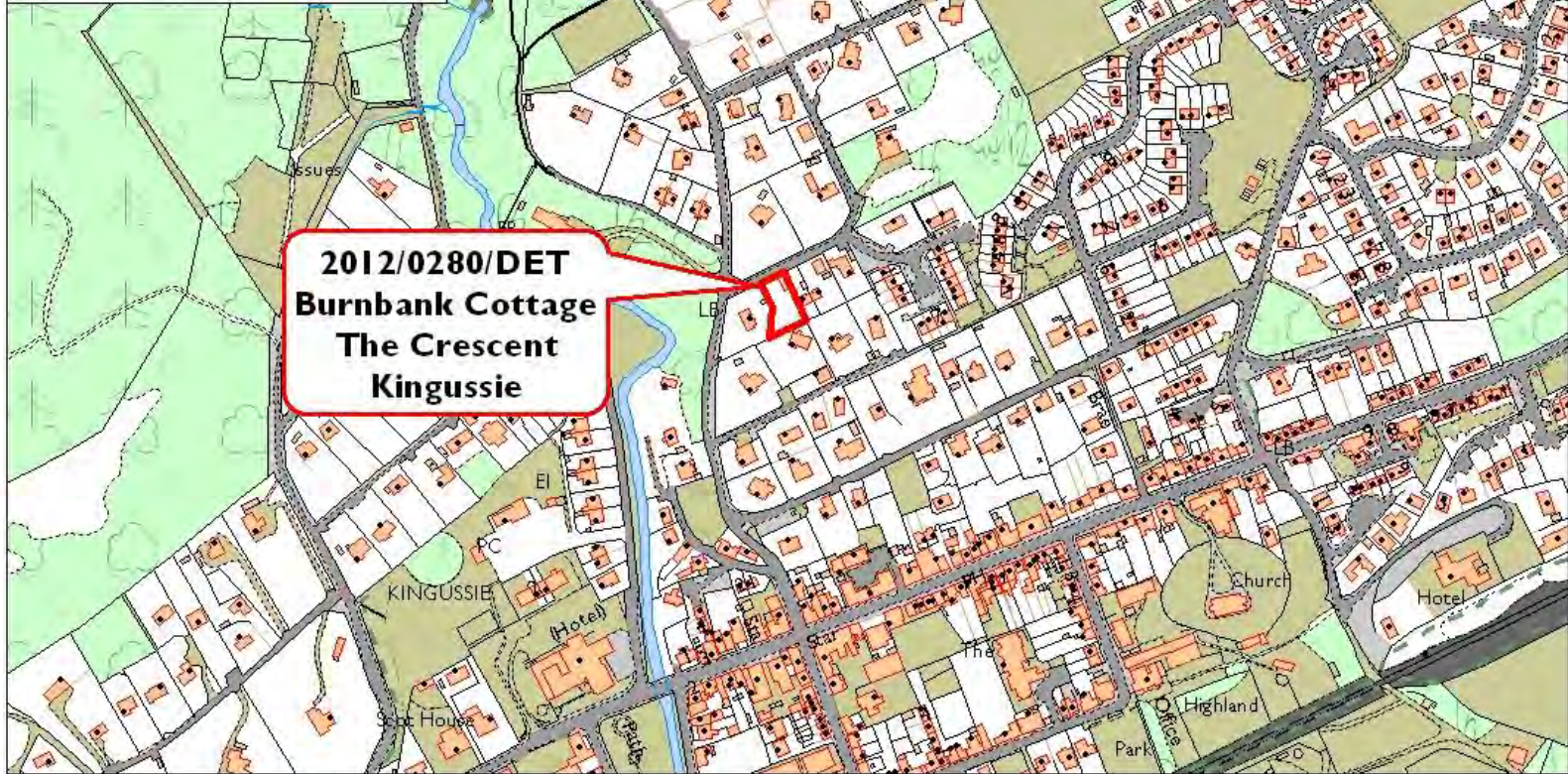
Application Site

0 55 110 220



Meters

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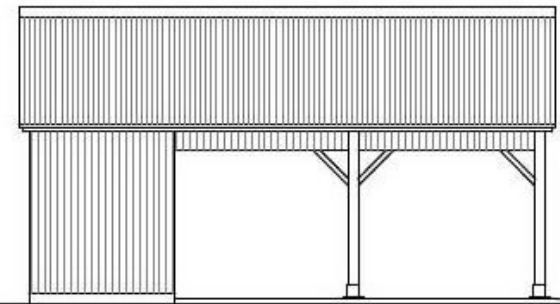
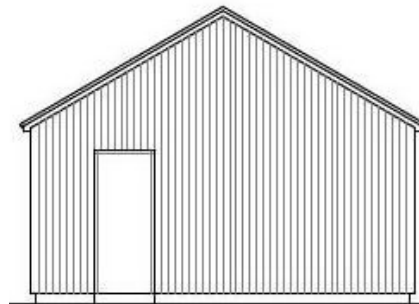


**2012/0280/DET
Burnbank Cottage
The Crescent
Kingussie**

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Applicant(s) :
Proposal :

D Gilmour, Burnbank Cottage, Kingussie
Erection of garage



Elevation from boundary Elevation from road

garage

KEY POINTS

- Full planning permission is sought to erect a pitched roof garage between an existing new house and the public road.
- Consent was previously granted by Highland Council to erect a replacement house on this site in 2008.
- Proposed finishes of the garage are wooden walls and sheeting roof.
- The proposal is of a minor domestic nature and is not considered to raise issues of significance to the collective aims of the National Park.

RECOMMENDATION : NO CALL IN

RECOMMENDED COMMENT : It is recommended that existing and proposed planting on site be retained/implemented in the interests of promoting biodiversity within the village.

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Application Site

0 50 100 200



Meters

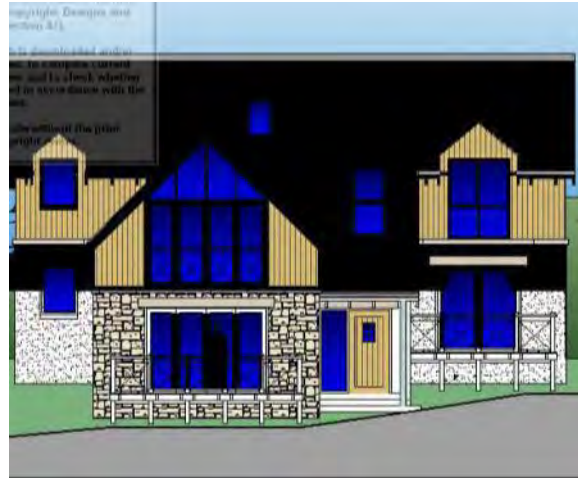


2012/0281DET
Plot 3 Land 150M South Of
St Vincents Hospital
Gynack Road
Kingussie

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Applicant(s) :
Proposal :

Allan Munro Construction per Bracewell Stirling Consulting ,Tillicoultry
Erection of house



site

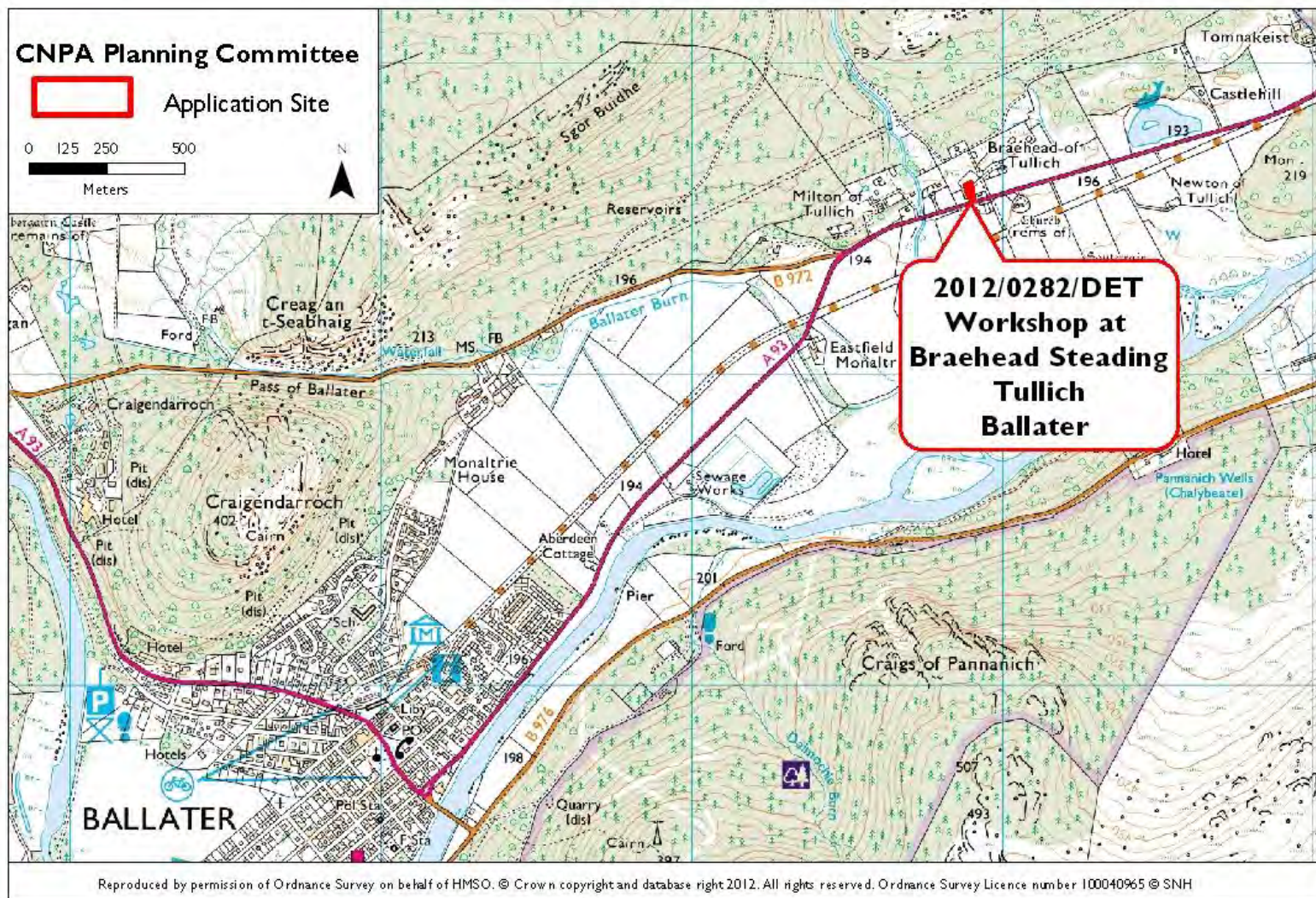
KEY POINTS

- Full planning permission is sought for a split level 5 bedroom house
- The site is located at Gynack Road Kingussie, largely within the designated settlement boundary.
- Proposed finishes are stone, wood, slate and harl with areas of glazing
- Previous applications for four house plots at this wider site were called in by the CNPA , one was refused in 2008– an appeal against this decision was upheld by Scottish Government Reporters.
- A subsequent application for four house plots was withdrawn in 2009.
- The current application seeks full consent to erect a house on one of these plots
- The site involves areas of environmental interest in terms of squirrel dreys and trees.
- The principle of development on this site has been established by Scottish Government Reporters, who set out in their decision letter the matters to be submitted specifically for approval by the CNPA

RECOMMENDATION :CALL IN

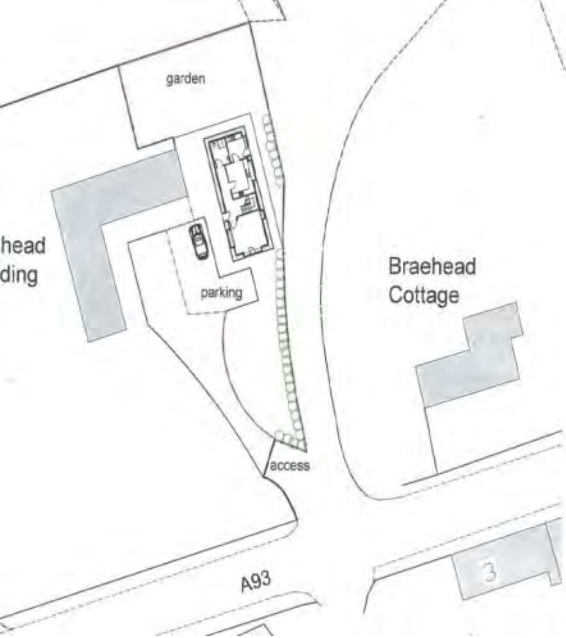
RECOMMENDED REASON: This proposal is linked to a development previously determined by the CNPA and approved on appeal. It involves a site which has natural heritage interest. Consequently the proposal is considered to raise issues of significance to the aims of the National Park in relation to natural heritage, provision of housing , design and also the specific planning history of the site.

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Applicant(s) : Mr G Stuart per agent Hesdesign Architectural Services The Studio Glenkindie

Proposal : Conversion of Workshop to form Dwellinghouse



SOUTH ELEVATION



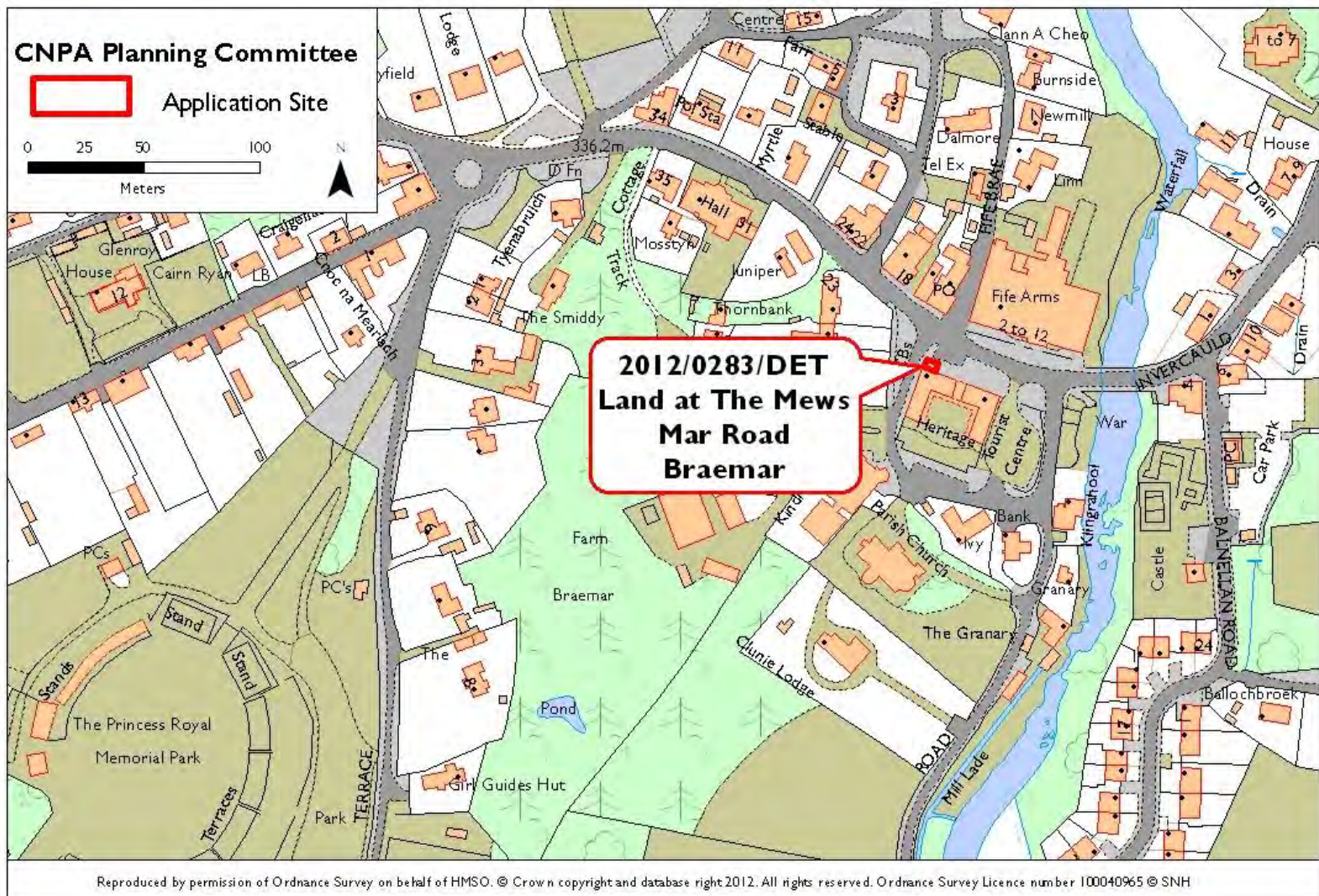
SOUTH ELEV.

KEY POINTS

- Full planning permission is sought for the conversion of an existing garage building to form a two bedroomed house
- Minimal changes are proposed to the appearance of this stone and slate building , with existing openings used to enable conversion.
- The site is located between Braehead Steading and Cottage at Braehead of Tullich on the edge of Ballater.
- The site is located within an existing grouping, using an existing building to form a house, and is not considered to raise issues of significance to the collective aims of the Park

RECOMMENDATION : NO CALL IN

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Applicant(s) : Mr Alasdair Colquhoun Braemar Community Council 8 Invercauld Road Braemar
Proposal : Erection of Community Signboard



KEY POINTS

- Full planning permission is sought for a four “pronged” community information board
- The proposed site is located to the front of the Mews, in the centre of Braemar Conservation Area.
- The signboard is fairly substantial with each “wing” measuring 1.4 metres by 2.35 metres high
- Finishes are understood to be black powdered steel.
- This proposal, to provide enhanced visitor and community information, whilst of relevance to the aims of the Park is not considered to be a significant proposal in this case, being a relatively minor community facility.
- However given the location within a Conservation Area care is necessary regarding final finishes and siting.

RECOMMENDATION : NO CALL IN

RECOMMENDED COMMENTS: It is recommended that care be taken to ensure the scale, and finishes of the sign complement the character of the Conservation Area.

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Application Site

0 37.5 75 150

Meters



2012/0284/DET
Caistealtynne
Manse Road
Kingussie

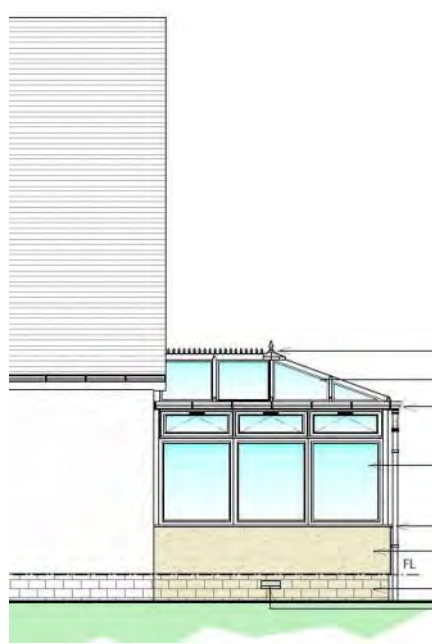
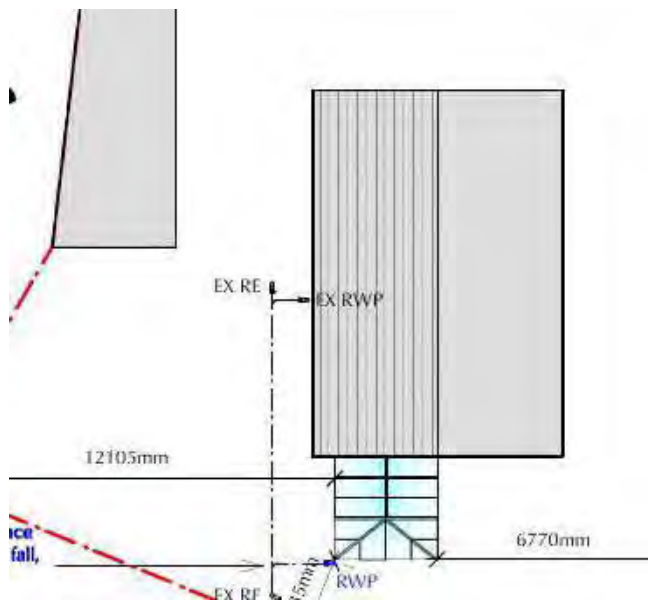
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Applicant(s) :

Mr Derek Emsley, per CM Design, St Brendans House, South Guildry Street, Elgin

Proposal :

New conservatory extension



KEY POINTS

- Full planning permission is sought for a small conservatory extension to the front gable of a detached house.
- The site is located within a residential area in Kingussie
- The extension is of standard glazed construction with harled, basecourse and UPVC windows/doors
- The proposal is of a minor domestic nature and is not considered to be of significance to the aims of the Park.

RECOMMENDATION : NO CALL IN

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